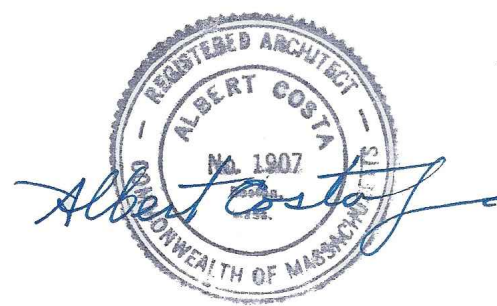


EXISTING TWO FAMILY RESIDENCE

NEW DORMERS

MR. & MRS. BRIDGES
47 TRULL STREET UNIT 2
SOMERVILLE, MA






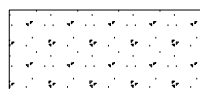
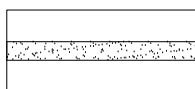
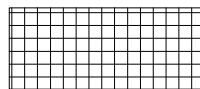
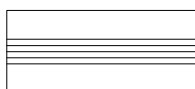
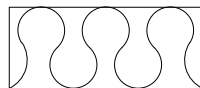
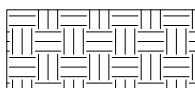
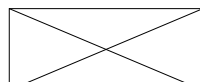
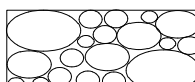
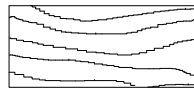
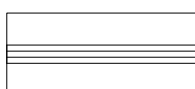
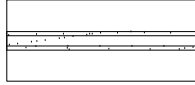
ALBERT COSTA ARCHITECTS
681 MAIN STREET
WALTHAM, MASS 02451
TEL: 781-647-5831

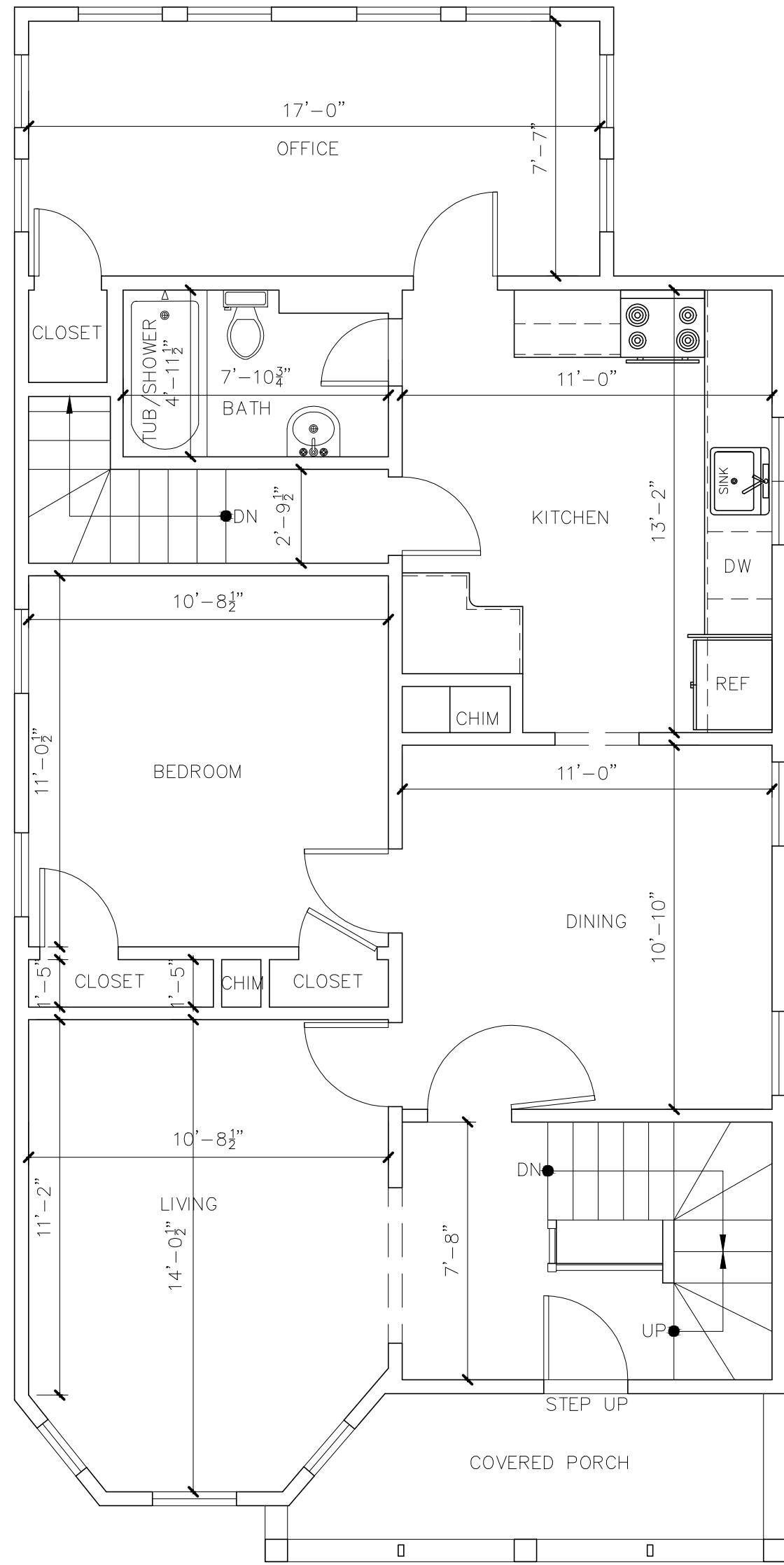
06-06-2018

GENERAL NOTES
<p>1. IBC = INTERNATIONAL BUILDING CODE, 2015 EDITION: SHALL BE ADHERED TO AND FOLLOWED BY ALL CONTRACTORS AND BUILDERS WORKING ON THE JOB INCLUDING AND REFERENCE AS TO SCOPE, ADMINISTRATION, APPLICATIONS, CHAPTER 1 THRU CHAPTER 35, WITH ALL APPENDICES A THRU K. IT IS IMPORTANT THAT ALL CONTRACTORS BE COGNIZANT OF THE INTERNATIONAL BUILDING CODE ADDRESSING THE DESIGN AND INSTALLATION OF BUILDING SYSTEMS THROUGH REQUIREMENTS EMPHASIZING PERFORMANCE AND REGULATIONS THAT SAFEGUARD THE PUBLIC HEALTH SAFETY, AND WELFARE IN THE CONSTRUCTION PROCESS OF BUILDING.</p> <p>IEBC = INTERNATIONAL EXISTING BUILDING CODE, 2015 EDITION: TO BE USED FOR REMODELING, REPAIR OR ALTERATION OF EXISTING BUILDINGS, ADDITIONS, RENOVATIONS, EXTENSIVE REPAIRS, OR CHANGE OF OCCUPANCY AND REHABILITATION OF EXISTING BUILDINGS.</p> <p>IRC = INTERNATIONAL RESIDENTIAL CODE 2015: ALL SINGLE FAMILY HOUSES, TWO FAMILY HOUSES(DUPLEXES) AND BUILDINGS CONSISTING OF THREE OR MORE TOWNHOUSE UNITS SHALL FOLLOW AND ADHERE TO THIS COMPREHENSIVE CODE. ALL BUILDINGS WITHIN THE SCOPE OF THE IRC ARE LIMITED TO THREE STORIES ABOVE GRADE PLANE. THE IRC IS DIVIDED INTO EIGHT MAIN PARTS AND THE GENERAL CONTRACTOR AND ALL OTHER CONTRACTORS SHALL PROVIDE FOR AND PERFORM ALL WORKS IN STRICT ACCORDANCE WITH THE IRC 2015 CODE.</p> <p>2. SUPERVISION AND CONSTRUCTION PROCEDURES:THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTION MEANS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT, UNLESS THE CONTRACT DOCUMENTS GIVE OTHER SPECIFIC INSTRUCTIONS CONCERNING THESE MATTERS. IF THE CONTRACT DOCUMENTS GIVE SPECIFIC INSTRUCTIONS CONCERNING CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, THE CONTRACTOR SHALL EVALUATE THE JOB SITE SAFETY THEREOF AND, EXCEPT AS STATED BELOW, SHALL BE FULLY AND SOLELY RESPONSIBLE FOR THE JOB SITE SAFETY OF SUCH MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES. IF THE CONTRACTOR DETERMINES THAT SUCH MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES MAY NOT BE SAFE, THE CONTRACTOR SHALL GIVE TIMELY WRITTEN NOTICE TO THE OWNER AND ARCHITECT AND SHALL NOT PROCEED WITH THAT PORTION OF THE WORK WITHOUT FURTHER WRITTEN INSTRUCTIONS FROM THE ARCHITECT. IF THE CONTRACTOR IS THEN INSTRUCTED TO PROCEED WITH THE REQUIRED MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES WITHOUT ACCEPTANCE OF CHANGES PROPOSED BY THE CONTRACTOR, THE OWNER SHALL BE SOLELY RESPONSIBLE FOR ANY RESULTING LOSS OR DAMAGE.</p> <p>3. ALL CONCRETE SHALL BE A MINIMUM OF 3000 PSI AT 28 DAYS, 3500 PSI FOR ALL EXTERIOR CONCRETE WALLS, WALKS, SLABS, ETC.</p> <p>4. ALL FOOTINGS TO REST ON SOLID UNDISTURBED SOIL WITH A MINIMUM CAPACITY OF 1.5 TONS PER SQ. FT. TYPICAL.</p> <p>5. NO FOOTING SHALL BE PLACED IN WATER.</p> <p>6. ALL EXTERIOR CONCRETE FOOTINGS CONSTRUCTION SHALL BE CARRIED DOWN A MINIMUM OF (4'-0") FEET BELOW FINISHED EXTERIOR GRADE.</p> <p>7. ALL FOOTING EXCAVATIONS SHALL BE FINISHED BY HAND.</p> <p>8. MATERIAL ADJACENT TO AND BELOW FOOTING SHALL BE KEPT FROM FREEZING AT ALL TIMES.</p> <p>9. DOUBLE UP RAFTERS AND JOISTS AROUND ALL OPENINGS.</p> <p>10. DOUBLE UP JOISTS UNDER ALL PARTITIONS.</p> <p>11. MICRO-LAM BEAMS MAY BE USED IN LIEU OF BUILT UP BEAMS, VERIFY ALL BEAMS AND SIZES-TYPICAL.</p> <p>12. G.C. SHALL VERIFY ALL DIMENSIONS IN FIELD AND VERIFY ALL EXISTING CONDITIONS IN FIELD.</p> <p>13. EXACT GRADES AND ELEVATIONS SHALL BE VERIFIED IN FIELD WITH EXISTING CONDITIONS AND WITH SURVEY-TOPOGRAPHICAL SITE PLAN-TYPICAL.</p> <p>14. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PROVIDING, FURNISHING AND PROPERLY INSTALLING ALL TEMPORARY SUPPORTS AND BRACING AS NECESSARY TO PREVENT ANY INSTABILITIES DURING CONSTRUCTION. PROPER SUPPORTS, BRACING TEMPORARY SHORING SHALL BE IN PLACE AT ALL TIMES AND ACCORDING TO THE COMMONWEALTH OF MASSACHUSETTS BUILDING CODE, TEMPORARY SHORING MUST NOT REMAIN IN PLACE FOR MORE THAN 180 DAYS AND WILL NEED A PERMIT FROM THE LOCAL BUILDING INSPECTOR AND/ OR BUILDING OFFICIAL. IT IS IMPORTANT TO PROPERLY BRACE, SUPPORT AND SHORE ALL WALLS, PARTITIONS, ROOFS AND OTHER STRUCTURES TO PREVENT ANY INSTABILITY AND/ OR COLLAPSE.</p> <p>15. THE ARCHITECT / ENGINEER ASSUMES NO RESPONSIBILITY FOR THE VALIDITY OF THE SUBSURFACE CONDITIONS DESCRIBED ON THE DRAWINGS, TEST BORINGS, SOIL REPORT OR TEST PIT.</p>

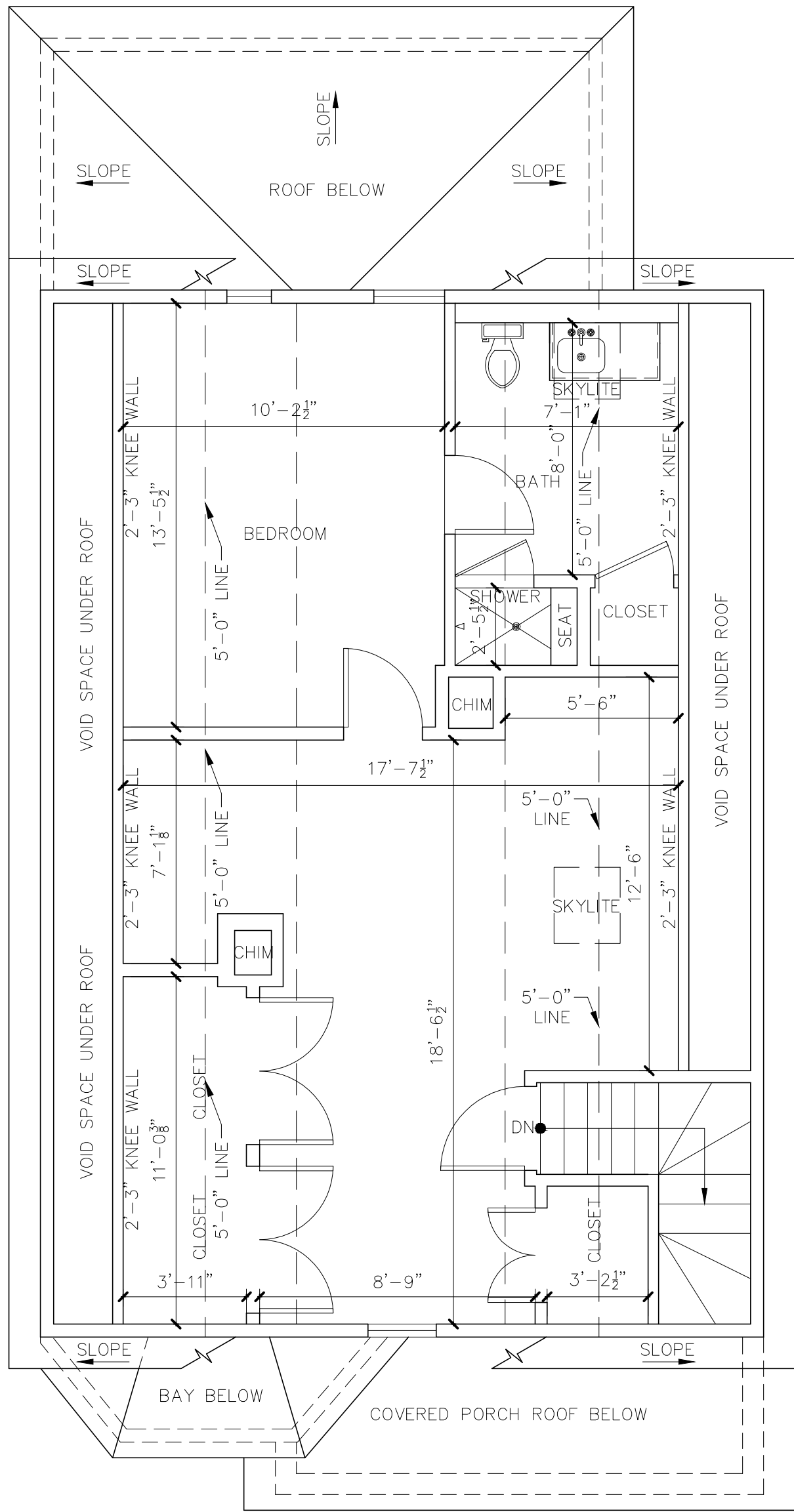
CLASSIFICATION OF WORK
CHAPTER 8 ALTERATIONS-LEVEL 2

ABBREVIATIONS					
AB	ANCHOR BOLT	GB	GRAB BAR	S	SOUTH
AD	AREA DRAIN	GEN	GENERATOR	SC	SOLID CORE
ABV	ABOVE	GL	GLASS	SCHED	SCHEDULE
ATC	ACOUSTICAL TILE CEILING	GND,GRND	GROUND	SD	SOAP DISPENSER
AW	ACOUSTICAL WALLCOVERING	GWB	GYPSUM WALLBOARD	SECT	SECTION
ACOUS	ACOUSTICAL	GYP	GYPSUM	SF	SQUARE FEET
ADJ	ADJACENT, ADJUSTABLE	HB	HOSE BIBB	SH	SHELF
ALUM	ALUMINUM	HC	HANDICAPPED	SHT	SHEET
ALT	ALTERNATE	HD	HEAD	SIM	SIMILAR
AP	ACCESS PANEL	HDW	HARDWOOD	SL	SLIDING
APPROX	APPROXIMATE	HDWR	HARDWARE	SPEC	SPECIFICATION
ARCH	ARCHITECTURAL	HM	HOLLOW METAL	SQ	SQUARE
AF	AWNING FABRIC	HORIZ	HORIZONTAL	SST	STAINLESS STEEL
B	BASE	HR	HOUR	ST	STAIN
BD	BOARD	HT	HEIGHT	STD	STANDARD
BG	BUMPER GUARD	HVAC	HEATING, VENTILATING, AIR CONDITIONING	STL	STEEL
BIT.	BITUMINOUS CONCRETE	ID	INSIDE DIAMETER	STOR	STORAGE
BLDG	BUILDING	IN	INCH	STRUCT	STRUCTURAL
BLK	BLOCK	INSUL	INSULATION	SUSP	SUSPENDED
BLKG	BLOCKING	INT	INTERIOR	SYM	SYMMETRICAL
BM	BEAM	JAN	JANITOR	T	THRESHOLD
BOT	BOTTOM	JST	JOIST	T&G	TONGUE AND GROOVE
BRDG	BRIDGING	JT	JOINT	TEL	TELEPHONE
BSMT	BASEMENT	KIT	KITCHEN	TEMP	TEMPERED
CAB	CABINET	KP	KICK PLATE	THK	THICK, THICKNESS
CB	CONCRETE BLOCK	LAM	LAMINATE, LAMINATED	TOS	TOP OF STEEL
CEM	CEMENT	LAV	LAVATORY	TOW	TOP OF WALL
CER	CERAMIC	LT	LIGHT	TT	TOILET TISSUE
CF	CONCRETE FINISH	M	MOLDING	TYP	DISPENSER TYPICAL
CJ	CONTROL JOINT	MACH	MACHINE	UNF	UNFINISHED
CKT	CIRCUIT	MATL	MATERIAL	UNO	UNLESS NOTED OTHERWISE
CL	CLOSET	MAX	MAXIMUM	UON	UNLESS OTHERWISE NOTED
CLKG	CAULKING	MECH	MECHANICAL	VCT	VINYL COMPOSITION TILE
CLG, CEIL	CEILING	MEMB	MEMBRANE	VERT	VERTICAL
CLR	CLEAR	MET, MTL	METAL	VEST	VESTIBULE
CMU	CONCRETE MASONRY UNIT	MFR	MANUFACTURER	VWC	VINYL WALLCOVERING
COL	COLUMN	MH	MANHOLE	W	WEST
CONC	CONCRETE	MIN	MINIMUM	W/	WITH
COND	CONDITION	MIR	MIRROR	WC	WALL COVERING
CONSTR	CONSTRUCTION	MISC	MISCELLANEOUS	WD	WOOD
CONT	CONTINUOUS	MO	MASONRY OPENING	WDO	WINDOW
CONTR	CONTRACTOR	M/R	MOISTURE RESISTANT	WF	WOOD FLOOR
CORR	CORRIDOR	MTD	MOUNTED	WIC	WALK IN CLOSET
CPT, C	CARPET	MTG	MEETING, MOUNTING	WM	WALK-OFF MAT
CT	CERAMIC TILE	MUL	MULLION	W/O	WITHOUT
CTR	CENTER	N	NORTH	WP	WATERPROOF
DN	DOWN	NEO	NEOPRENE	WR	WATER RESISTANT
DET	DETAIL	NIC	NOT IN CONTRACT	WT	WEIGHT
DIA	DIAMETER	NO	NUMBER		
DIFF	DIFFUSER	NOM	NOMINAL		
DIM	DIMENSION	NTS	NOT TO SCALE		
DISP	DISPENSER	OA	OVERALL		
DO	DOOR OPENING	OBS	OBSCURE		
DR	DOOR	OC	ON CENTER		
D.S.	DOWNSPOUT	OD	OUTSIDE DIAMETER		
DW	DISHWASHER	OFF	OFFICE		
DWG(S)	DRAWING, DRAWINGS	O.H.	OVERHEAD DOOR		
DWR	DRAWER	OPNG	OPENING		
E	EAST	OPP	OPPOSITE		
EA	EACH	P	PAINT		
EIFS	EXTERIOR INSUL FIN. SYSTEM	PL	PLATE		
EJ	EXPANSION JOINT	P. LAM	PLASTIC LAMINATE		
EL, ELEV	ELEVATION	PLAS	PLASTER		
ELEC	ELECTRIC, ELECTRICAL	PLYWD	PLYWOOD		
ELEV	ELEVATOR	PNL	PANEL, PANELBOARD		
EMER	EMERGENCY	PP	PREFINISHED PANELS		
ENCL	ENCLOSURE	PR	PAIR		
EQUIP	EQUIPMENT	PROJ	PROJECT		
EWC	ELECTRIC WATER COOLER	PROP	PROPERTY		
EXH	EXHAUST	P.T.	PRESSURE TREATED		
EXIST	EXISTING	PT	POINT		
EXP	EXPANSION, EXPOSED	PTD	PAPER TOWEL DISPENSER		
EXT	EXTERIOR	PTN	PARTITION		
FA	FIRE ALARM	PWR	POWER		
FB	FLAT BAR	QT	QUARRY TILE		
FD	FLOOR DRAIN	QTY	QUANTITY		
FDN	FOUNDATION	R	RISER		
FE	FIRE EXTINGUISHER	RAD, R	RADIUS		
FEC	FIRE EXTINGUISHER CABINET	RD	ROOF DRAIN		
FIN	FINISH	REF	REFRIGERATOR		
FIX, FIXT	FIXTURE	REFL	REFLECTED		
FL, FLR	FLOOR	REINF	REINFORCED		
FLASH	FLASHING	REQD	REQUIRED		
FLUOR	FLUORESCENT	RESIL	RESILIENT		
FOC	FACE OF CONCRETE	RF	RESILIENT FLOORING		
FOF	FACE OF FINISH	RM	ROOM		
FOS	FACE OF STUDS	RO	ROUGH OPENING		
FOW	FACE OF WALL	RWL	RAIN WATER LEADER		
FR	FIRE RATED/RETARDANT				
FRP	FIBERGLASS REINFORCED POLYESTER PANEL				
FRTW	FIRE RETARDANT TRTD. WD.				
FT	FOOT, FEET				
FURR	FURRING				
G	GROUT				
GA	GAUGE				
GALV	GALVANIZED				

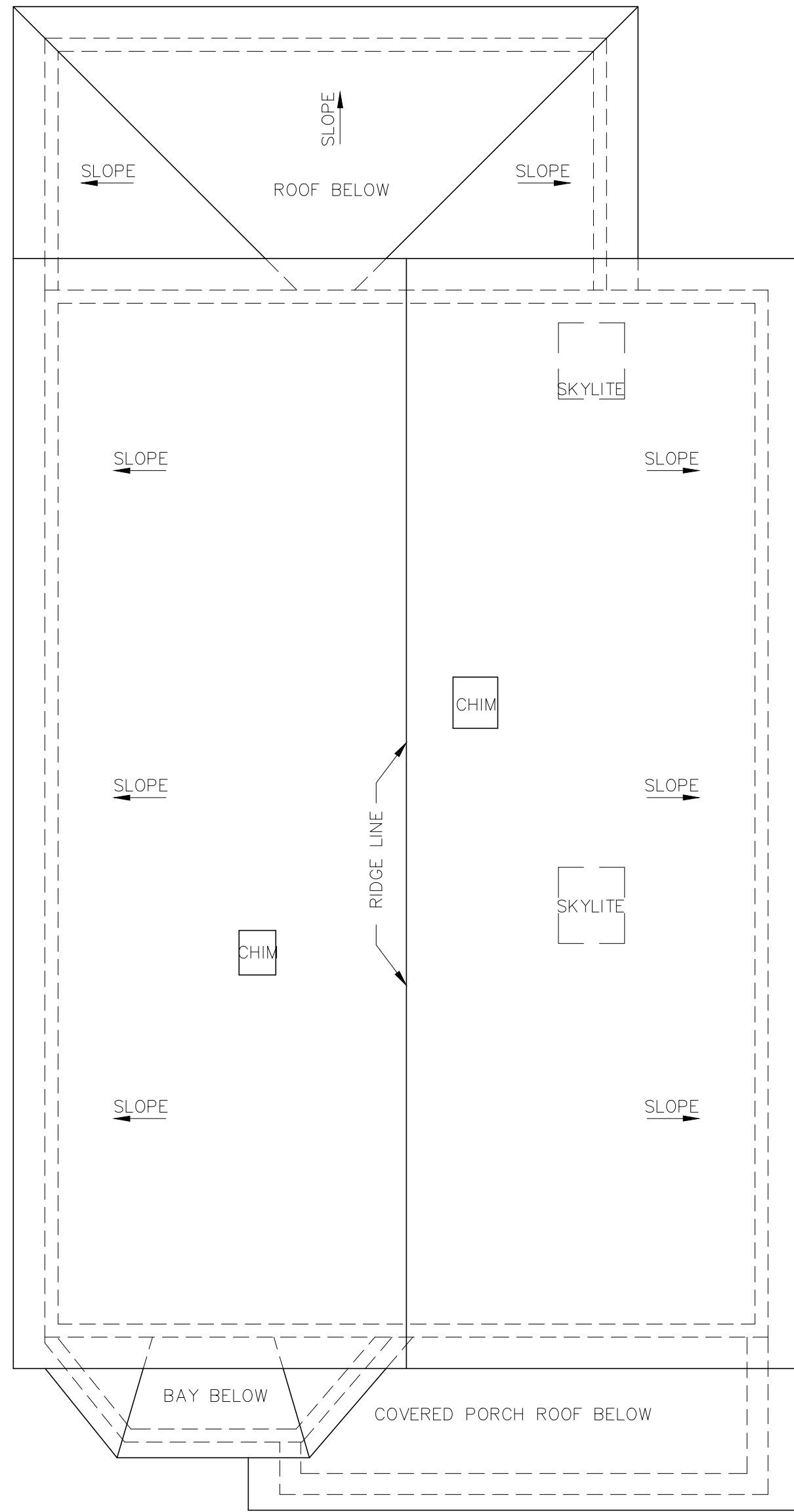
SCHEDULE OF DRAWINGS	
ARCHITECTURE	
EX-1	EXISTING SECOND FLOOR, ATTIC AND ROOF PLANS
EX-2	EXISTING ELEVATIONS
A-1	EXISTING/PROPOSED ATTIC FLOOR PLAN AND ROOF PLAN
A-2	EXISTING/PROPOSED ELEVATIONS
A-3	EXISTING/PROPOSED SECTION, ROOF DETAILS, ROOF FRAMING & ZONING TABLE
A-4	RENDERINGS
CEILING INFORMATION	
	SMOKE DETECTOR
	HEAT DETECTOR
	CARBON MONOXIDE DETECTOR
MATERIALS	
	
CONCRETE (CAST-IN-PLACE)	PARTICLE BOARD
	
RIGID INSULATION	GLASS
	
BATT INSULATION	SOIL
	
ROUGH DIMENSION WOOD	STONE
	
FINISH WOOD	PLYWOOD
	
	GYPSUM BOARD
TITLE SHEET AND GENERAL NOTES	
SHEET	
T-1	



EXISTING SECOND FLOOR PLAN
SCALE 1/4"=1'-0" (934 SQFT NO CHANGE)



EXISTING ATTIC FLOOR PLAN
SCALE 1/4"=1'-0" (415 SQFT NO CHANGE)



EXISTING ROOF PLAN
SCALE 1/4"=1'-0"

MR. & MRS. BRIDGES

47 TRULL STREET UNIT 2
SOMERVILLE, MASS

EXISTING TWO FAMILY RESIDENCE
NEW DORMERS

General Notes :



681 MAIN STREET
WALTHAM, MA 02451
TEL./FAX: 781-647-5831



Job Number: 00015

Scale: 1/4" = 1'-0"

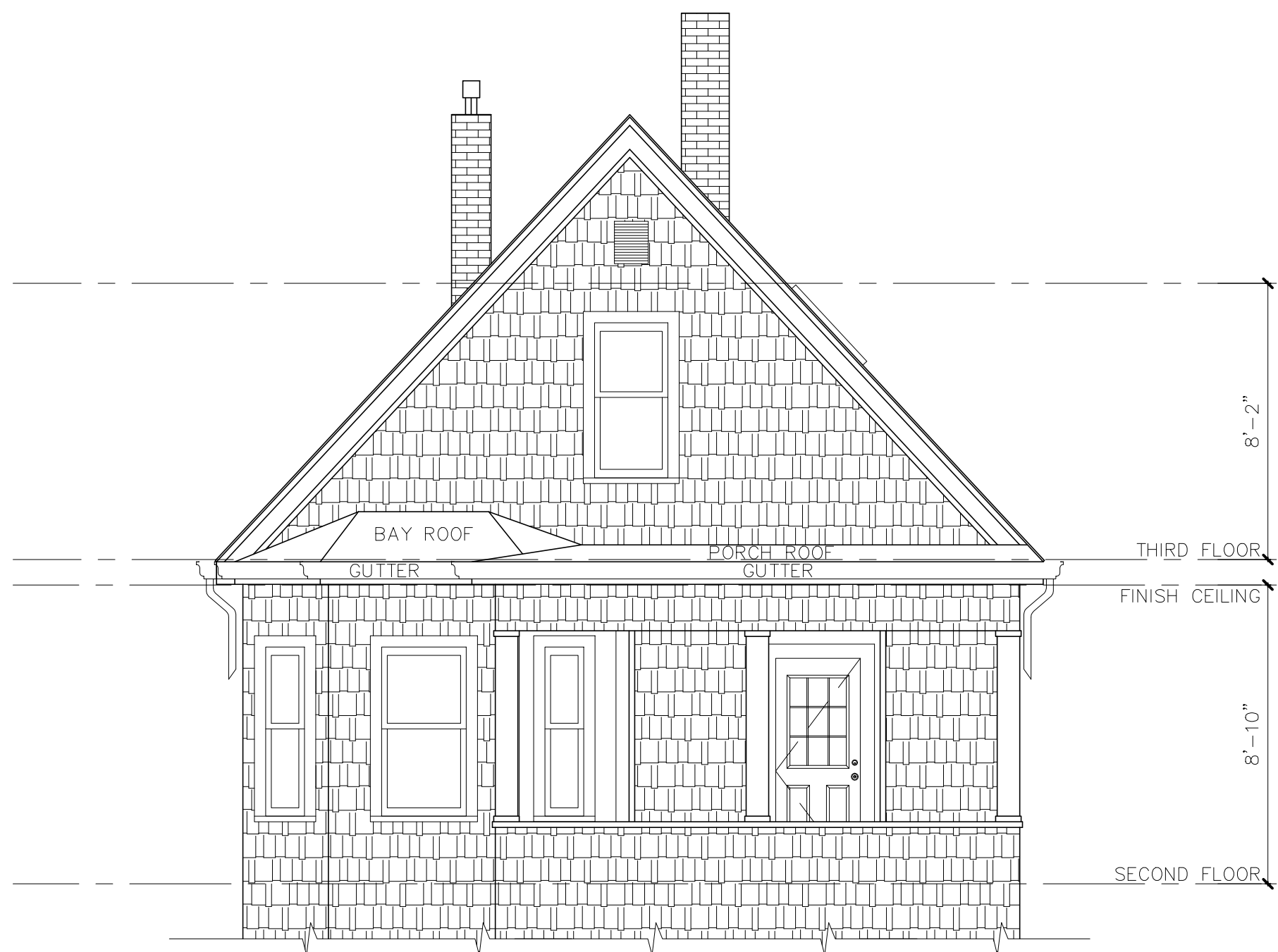
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Revisions: 06-04-18R
06-06-18

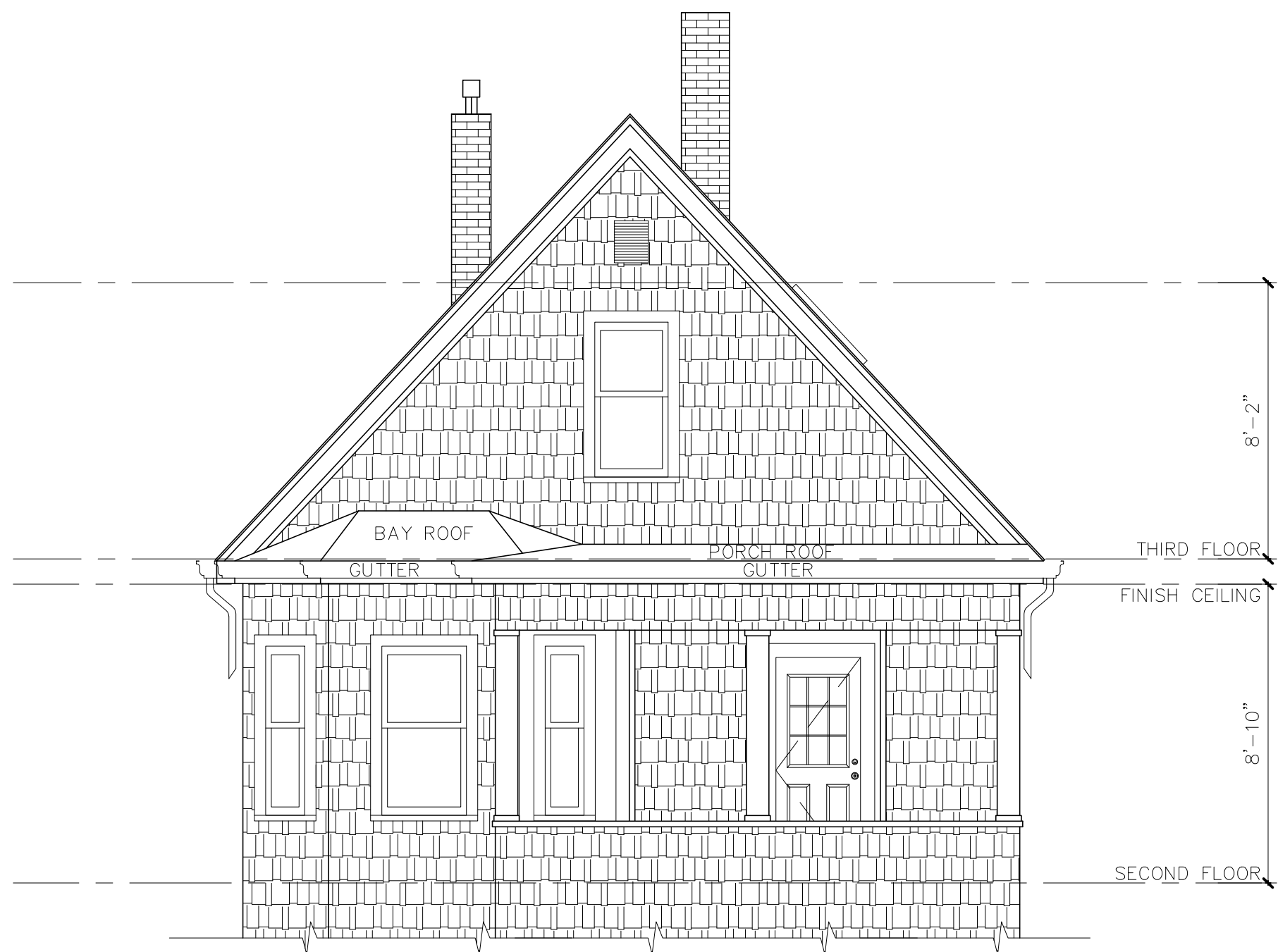
EXISTING SECOND FLOOR
EXISTING ATTIC FLOOR
EXISTING ROOF PLAN

Drawing

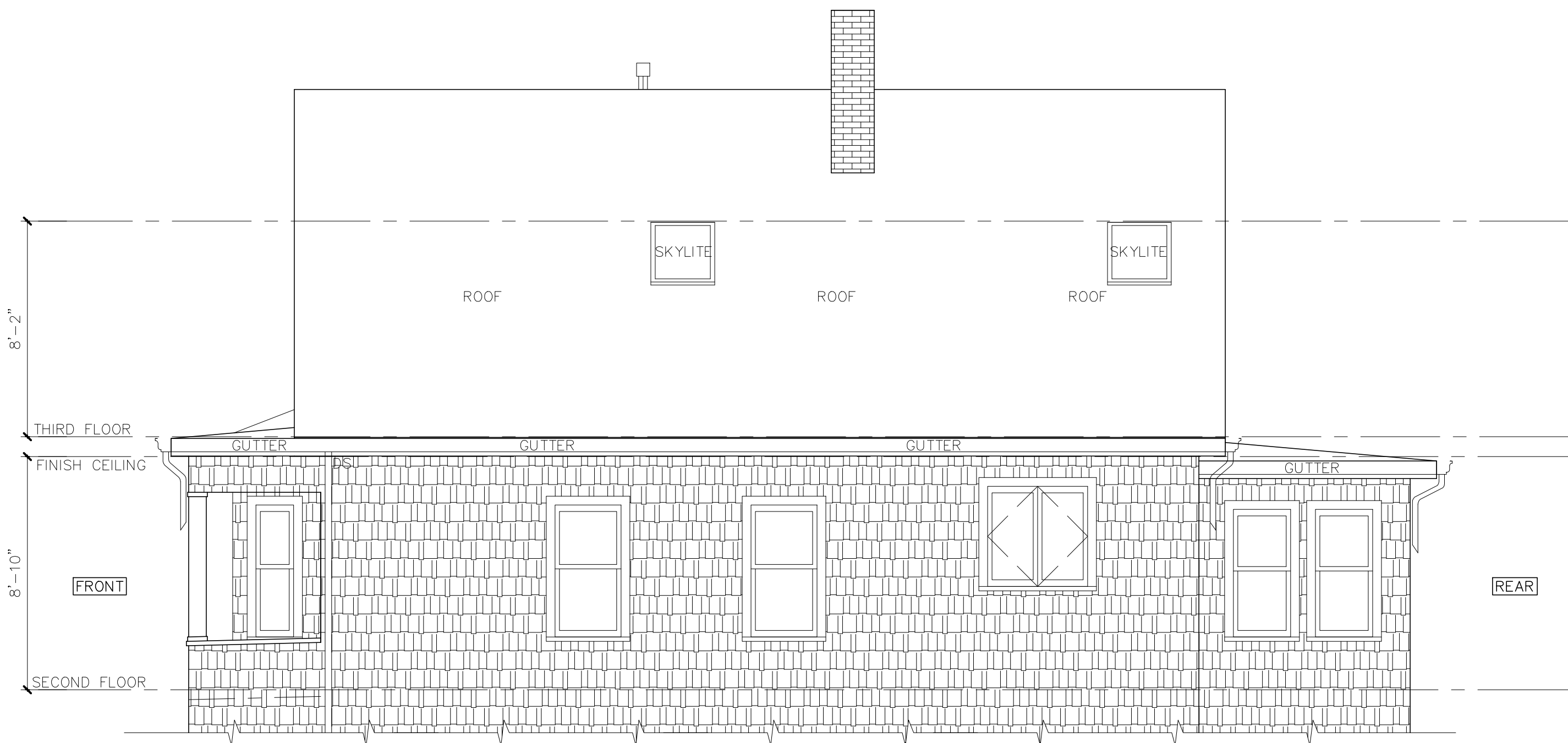
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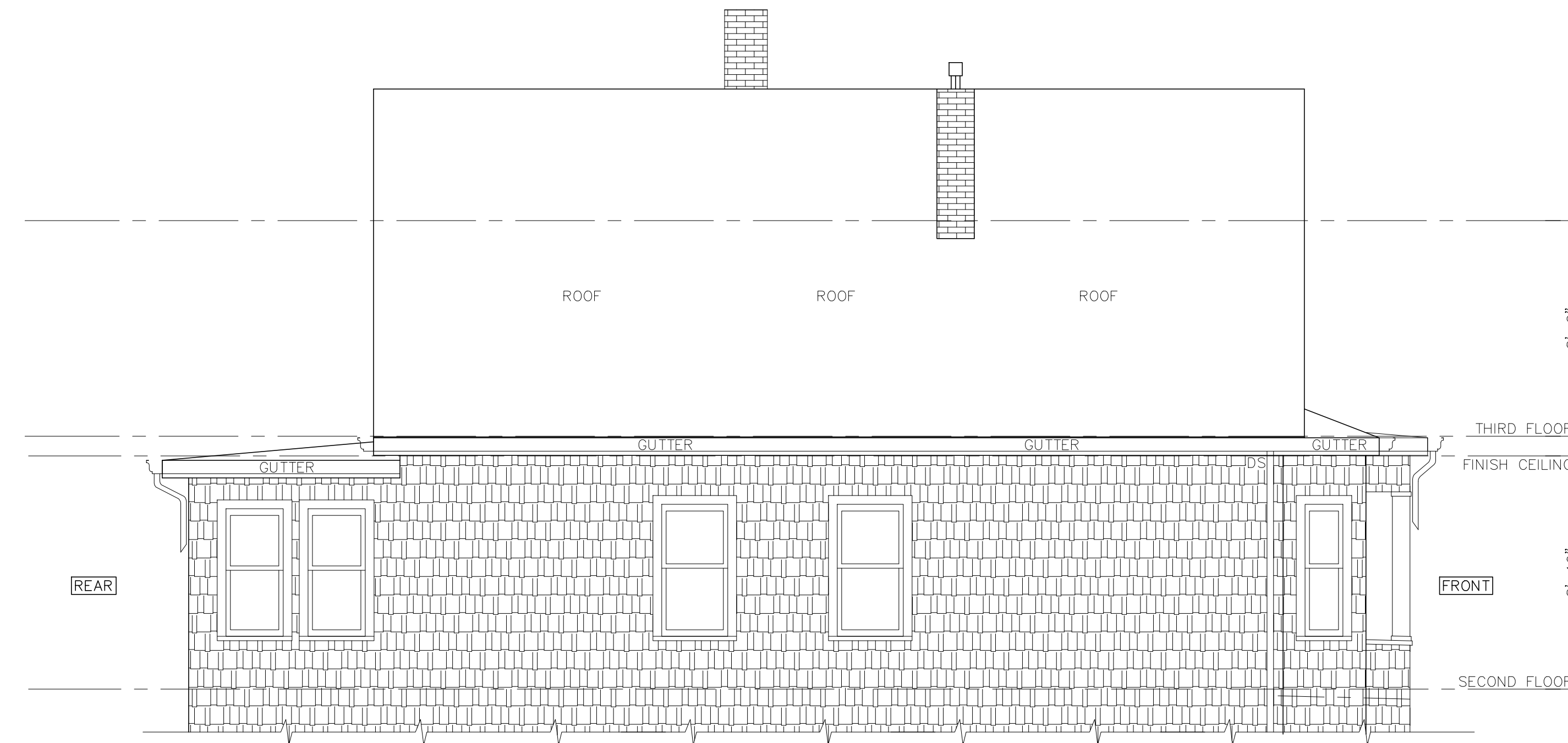
EXISTING FRONT ELEVATION
SCALE 1/4"=1'-0"



EXISTING FRONT ELEVATION
SCALE 1/4"=1'-0"



EXISTING RIGHT SIDE ELEVATION
SCALE 1/4"=1'-0"



EXISTING LEFT SIDE ELEVATION
SCALE 1/4"=1'-0"

MR. & MRS. BRIDGES

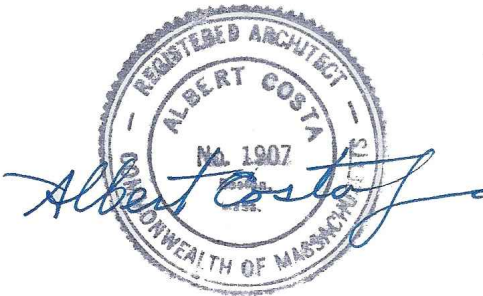
47 TRULL STREET UNIT 2
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681 MAIN STREET
WALTHAM, MA 02451
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Job Number: 00015

Scale: 1/4" = 1'-0"

Date: 06-03-18

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06-06-18

EXISTING ELEVATIONS

Drawing

EX-2

MR. & MRS. BRIDGES

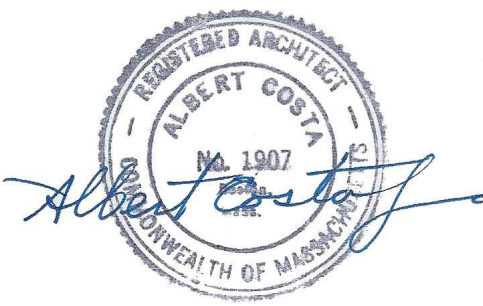
47 TRULL STREET UNIT 2
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681 MAIN STREET
WALTHAM, MA 02451
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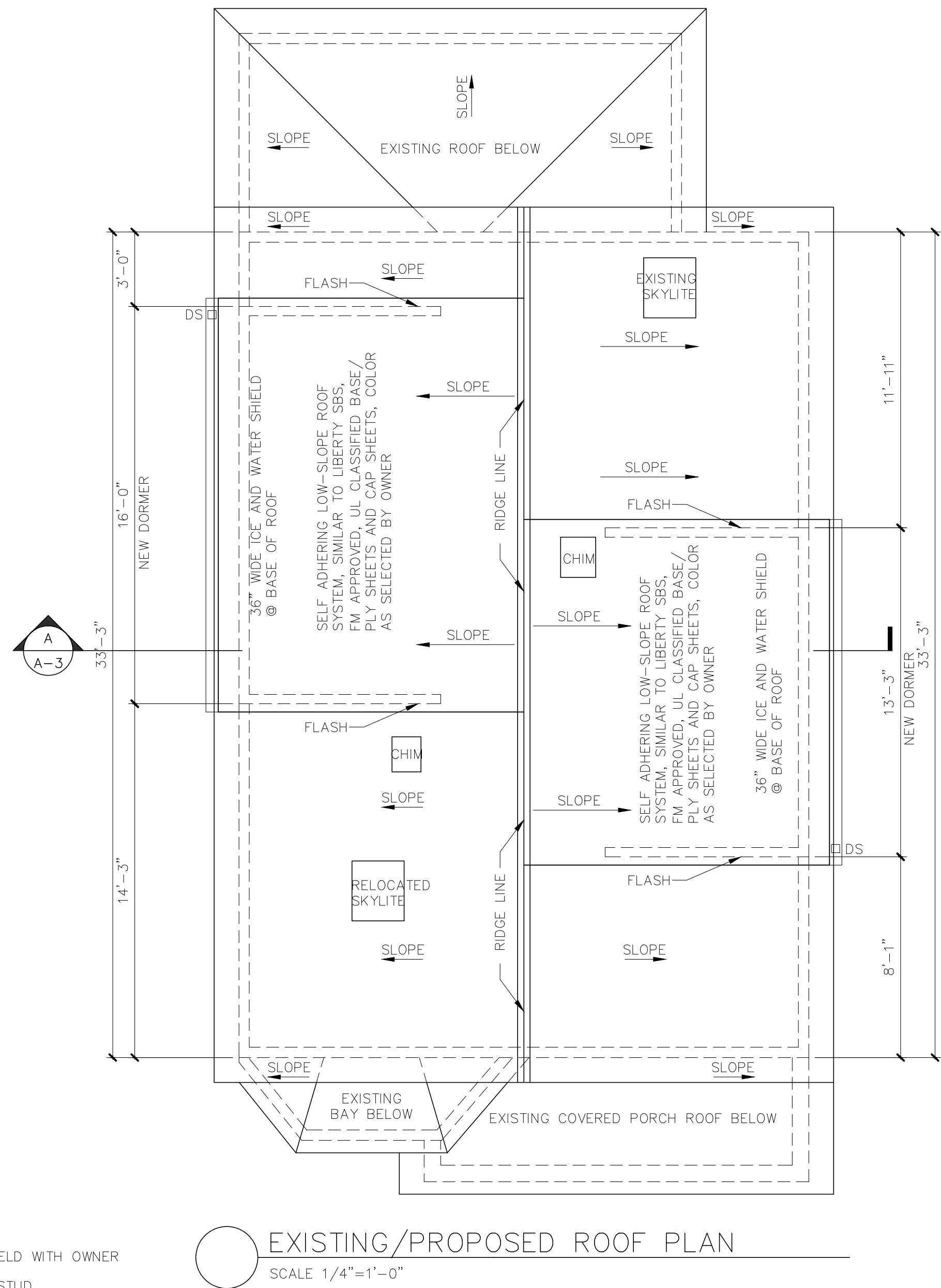
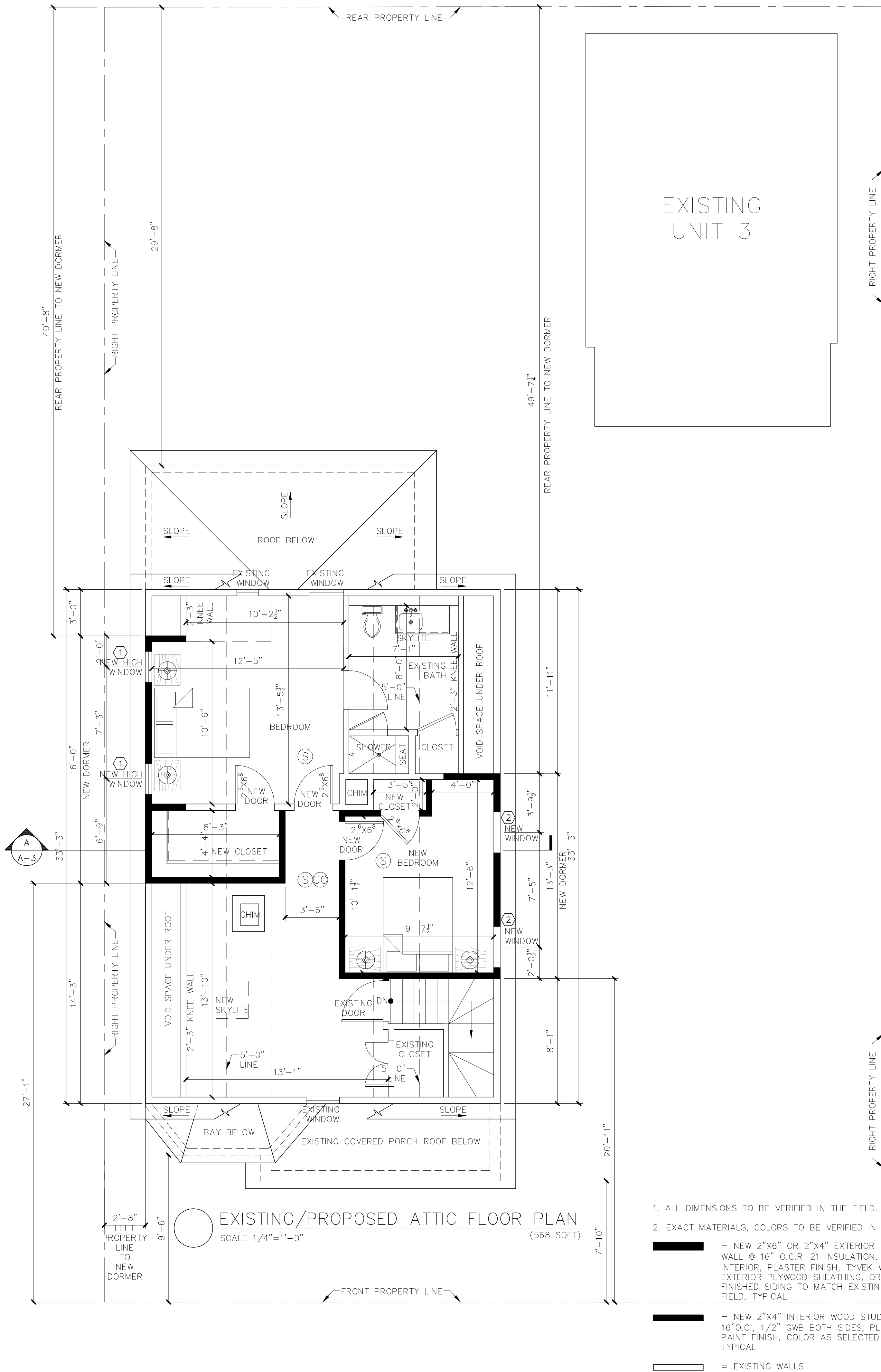
Date: 06-03-18

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06-06-18

EXISTING/PROPOSED
ATTIC FLOOR PLAN AND
ROOF PLAN

Drawing

A-1



MR. & MRS. BRIDGES

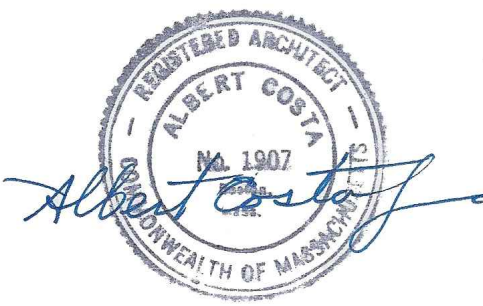
47 TRULL STREET UNIT 2
SOMERVILLE, MASS

EXISTING TWO FAMILY RESIDENCE
NEW DORMERS

General Notes :



681 MAIN STREET
WALTHAM, MA 02451
TEL./FAX: 781-647-5831



Job Number: 00015

Scale: 1/4" = 1'-0"

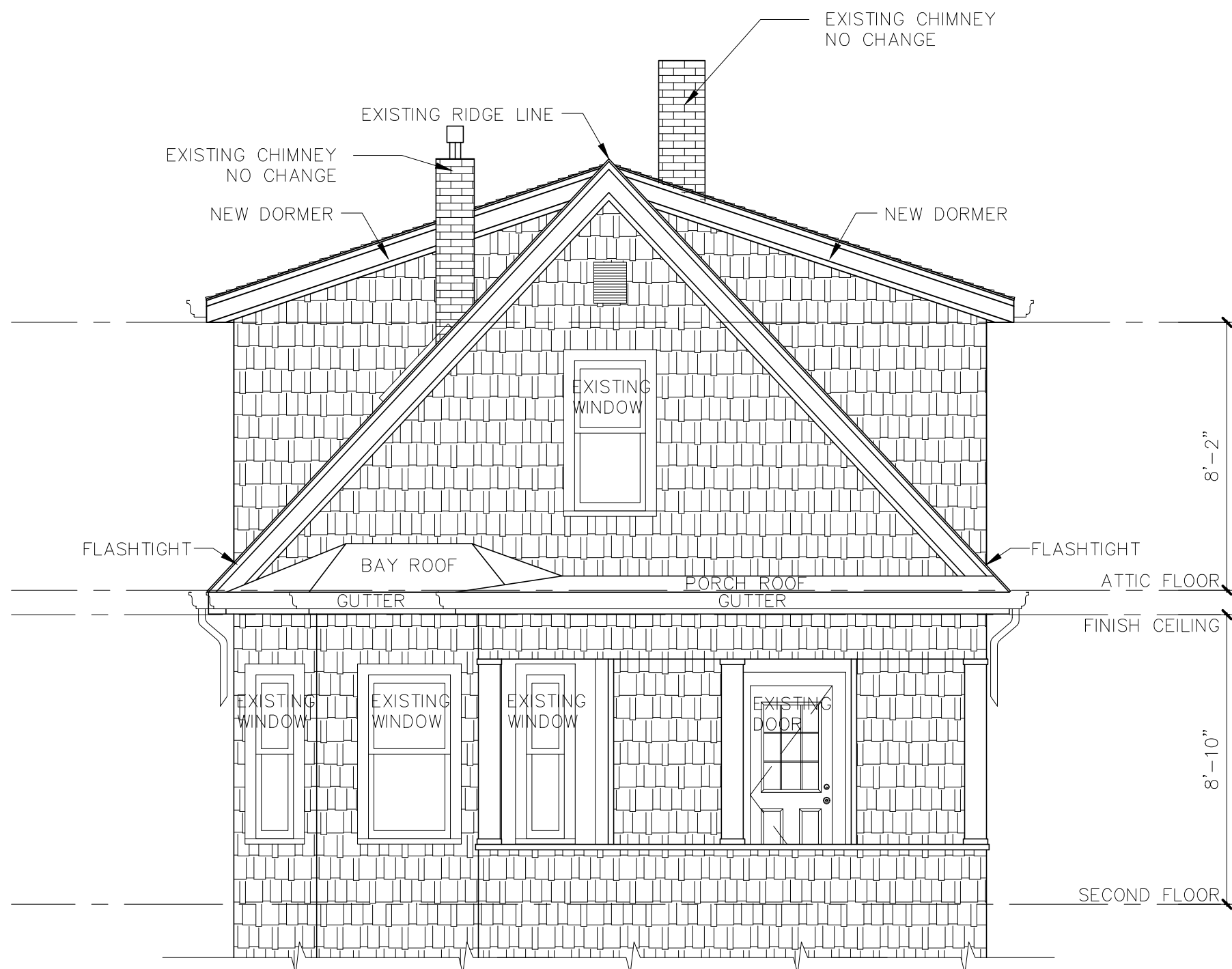
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06-06-18

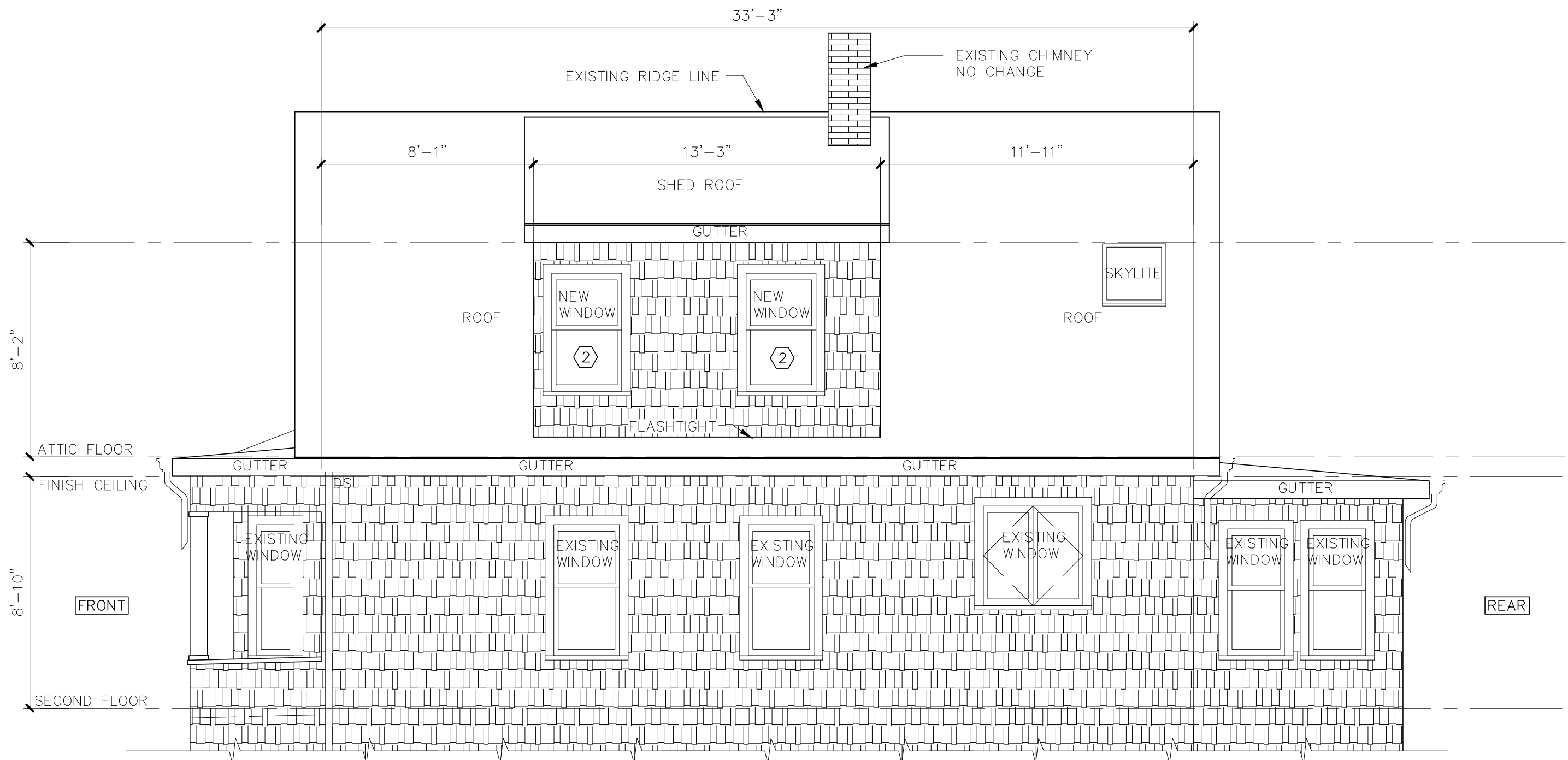
EXISTING/PROPOSD
ELEVATIONS

Drawing

A-2



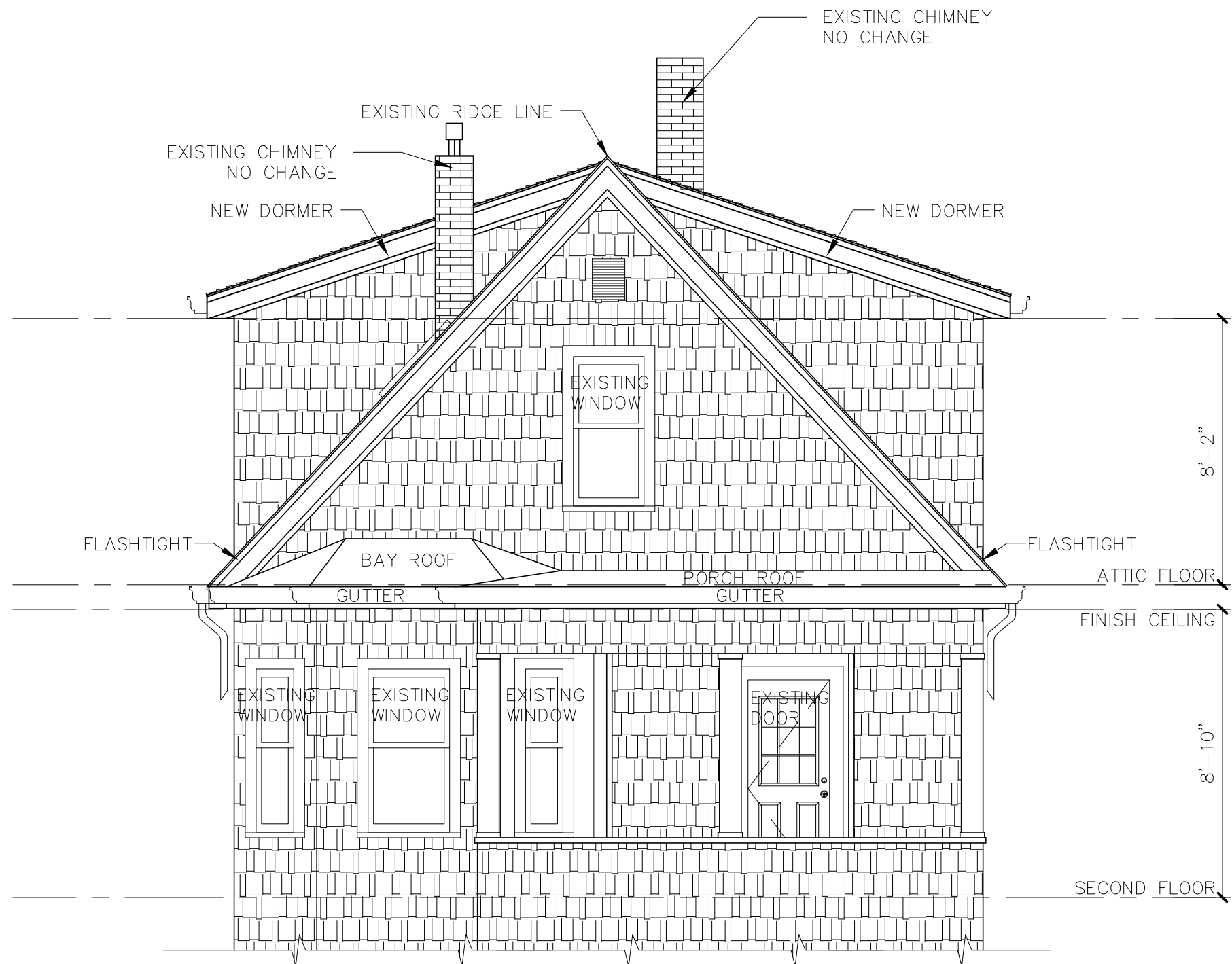
EXISTING/PROPOSED FRONT ELEVATION
SCALE 1/4"=1'-0"



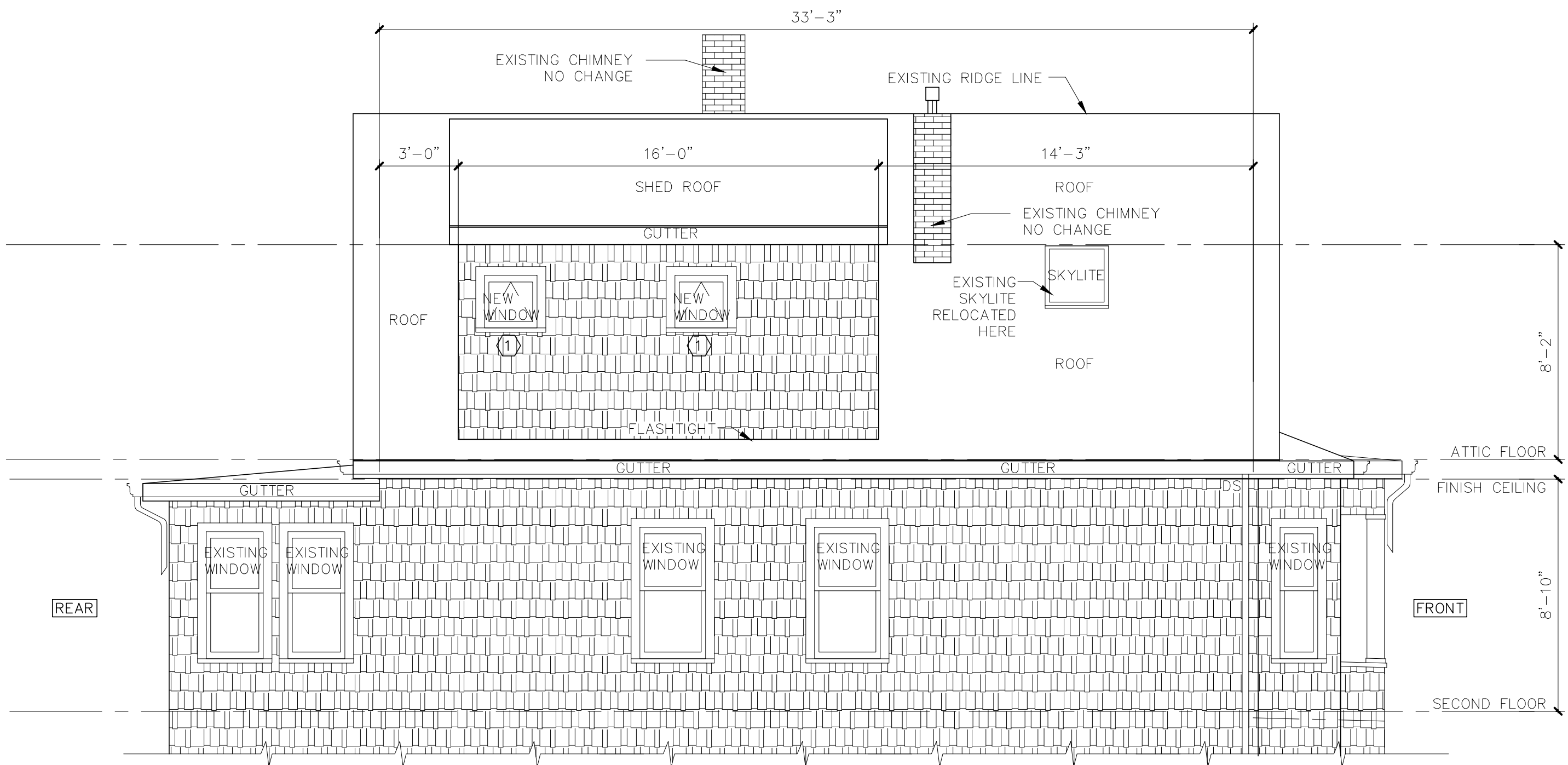
EXISTING/PROPOSED RIGHT SIDE ELEVATION
SCALE 1/4"=1'-0"

WINDOW SCHEDULE		
SYMBOL	WINDOW SIZE	NOTES
①	2'-0" X 2'-0"	AWNING WINDOW
②	2'-8" X 4'-6"	DOUBLE HUNG WINDOW

GENERAL CONTRACTOR SHALL COORDINATE THE ROUGH OPENINGS OF WINDOWS AND DOORS AS PER THE SPECIFIC MANUFACTURER AS TO THE EXACT DIMENSIONS AND PLACEMENT WITHIN THE WALLS AND PARTITION- TYPICAL FOR ALL.



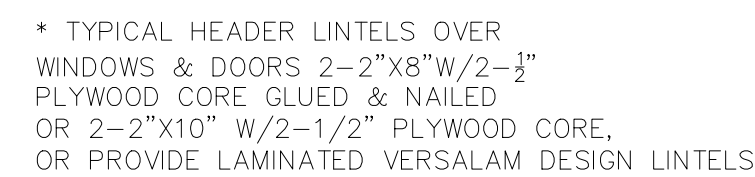
EXISTING/PROPOSED FRONT ELEVATION
SCALE 1/4"=1'-0"



EXISTING/PROPOSED LEFT SIDE ELEVATION
SCALE 1/4"=1'-0"

**47 TRULL STREET UNIT 2
SOMERVILLE, MASS**

General Notes :



* PROVIDE SIMPSON STRONG TIES CONNECTORS - HANGERS
AT ALL JOININGS TYPICAL IE; RAFTERS TO
RIDGES TO PLATES, TYPICAL

* EXACT MATERIALS, FINISHES/COLORS
TO BE ALL AS DIRECTED BY OWNER, TYPICAL

* f_s = 1500 PSI MIN. ALLOWABLE STRESS
IN EXTREME FIBER IN BENDING WOOD
DIMENSIONAL LUMBER JOISTS & RAFTERS

COSTA ARCHITECTS

681 MAIN STREET
WALTHAM, MA 02451
TEL./FAX: 781-647-5831



Job Number: 00015

Scale: $1/4" = 1'-0"$

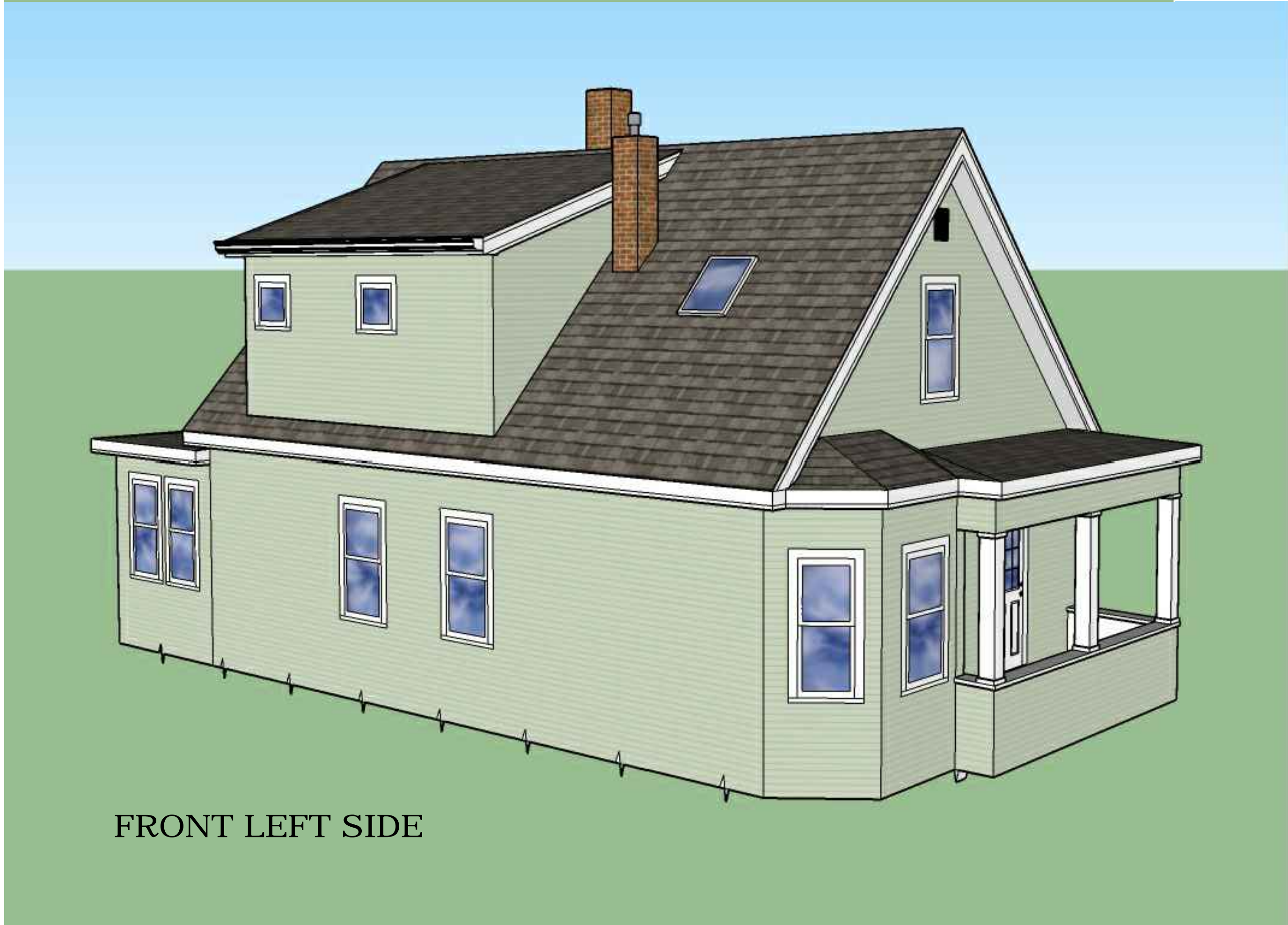
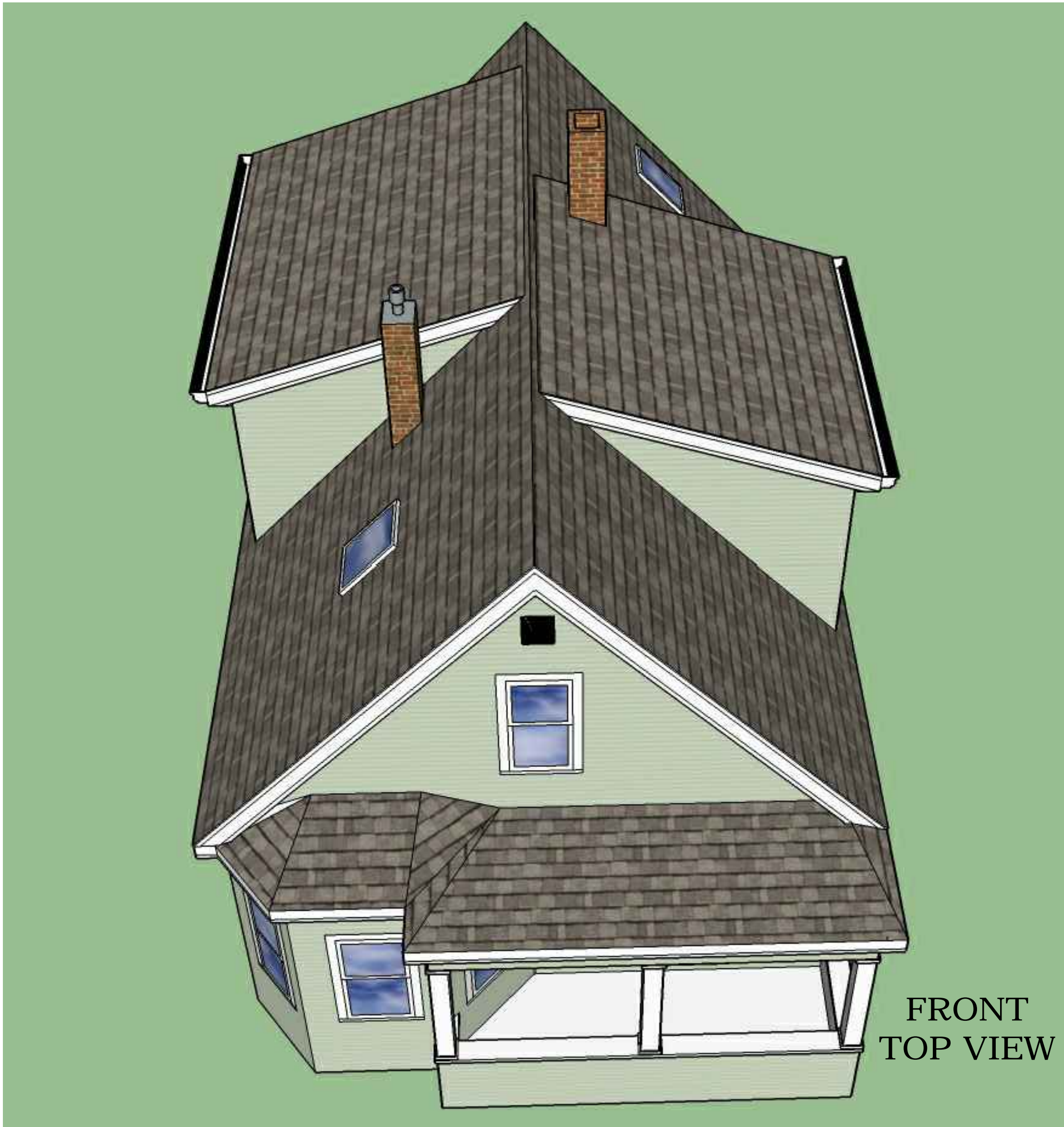
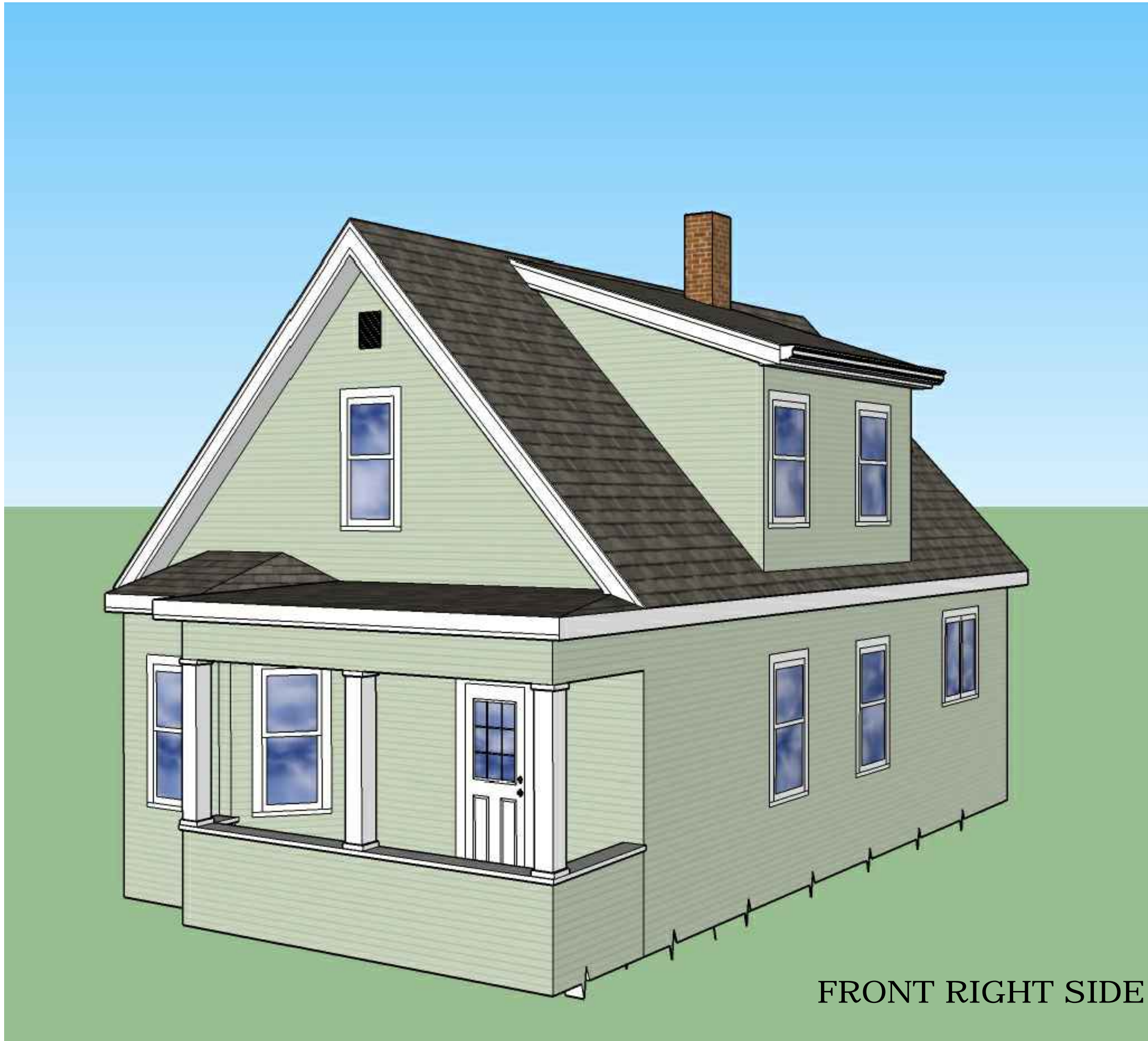
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06-06-18

EXIST./PROPOSED SECTION
ROOF DETAILS, ROOF
FRAMING, ZONING TABLE

Drawing

A-3



MR. & MRS. BRIDGES

47 TRULL STREET UNIT 2
SOMERVILLE, MASS

EXISTING TWO FAMILY RESIDENCE
NEW DORMERS

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WALTHAM, MA 02451
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06-06-18

RENDERINGS

Drawing

A-4